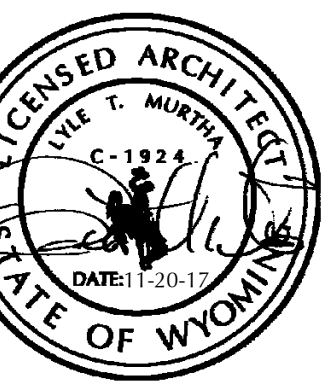


OLD STONEY REMODEL - PHASE ONE



GENERAL NOTES

- ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF MASONRY, UNLESS NOTED OTHERWISE FOR NEWLY CONSTRUCTED WALLS OR THE FACE OF FINISH FOR EXISTING WALLS.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE PROJECT AS PART OF THE CONTRACT.
- GENERAL CONTRACTOR SHALL VERIFY ALL CONDITIONS AT THE SITE AND REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- GENERAL CONTRACTOR SHALL PROVIDE A COMPLETE AND PROPER EXECUTION OF THE WORK AS INDICATED ON ALL DRAWINGS. IF ERRORS IN LAYOUT DIMENSIONS OR DETAILS ARE FOUND CONTACT THE ARCHITECT IMMEDIATELY.
- GENERAL CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO COORDINATE WITH THE OWNER'S WORK AND/OR SUPPLIED ITEMS THAT ARE OWNER FURNISHED CONTRACTOR INSTALLED (OFCI) OR ARE NOT IN CONTRACT (NGC) BUT ARE ATTACHED TO THE CONTRACTOR'S WORK.
- CONTRACTOR TO PROVIDE ALL REQUIRED BLOCKING, FRAMING, OR BRACING FOR WALLS/Ceilings MOUNTED EQUIPMENT AND FIXTURES SHOWN INCLUDING OWNER FURNISHED ITEMS.
- ALL LARGE SCALE DRAWINGS AND DETAILS GOVERN OR SUPERSEDE ALL SMALLER SCALE DRAWINGS AND DETAILS.
- PROVIDE PATCHING, PAINTING, INFILL AS NEEDED AT ALL DEMOLITION LOCATIONS.
- COORDINATE ANY DEVIATIONS OF WORK WITH ARCHITECT IMMEDIATELY BEFORE PROCEEDING.
- THE OLD STONEY, 108 NORTH 4TH STREET, SUNDANCE, WYOMING IS AN ASBESTOS FREE FACILITY. ACCORDING TO THE DOCUMENTATION FROM THE OWNER, AN ASBESTOS ABATEMENT HAS BEEN UNDERTAKEN AND NO REMAINING ASBESTOS CONTAINING MATERIALS ARE IN THE BUILDING.

ALL BIDDERS AND CONTRACTORS ARE HEREBY NOTIFIED THAT TO THE BEST KNOWLEDGE OF THE OWNER OR THOSE REPRESENTING THE OWNER IN ANY CAPACITY, THIS PROJECT DOES NOT INVOLVE ASBESTOS CONTAINING MATERIALS (GREATER THAN 1%). BIDDERS ARE FURTHER INSTRUCTED THAT NO ASBESTOS-CONTAINING MATERIALS HAVE BEEN SPECIFIED FOR THIS PROJECT AND NONE SHALL BE INSTALLED. UPON COMPLETION OF THIS PROJECT ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS SHALL PROVIDE THE OWNER A LETTER STATING THAT NO ASBESTOS-CONTAINING MATERIALS WERE USED IN THE CONSTRUCTION OF THIS FACILITY.

THE CONTRACTOR IS CAUTIONED THAT HIDDEN MATERIALS UNKNOWN TO THE OWNER AND INACCESSIBLE FOR TESTING MAY BE FOUND DURING THE DEMOLITION OR CONSTRUCTION WORK OF THIS PROJECT WHICH MAY BE ASBESTOS CONTAINING MATERIALS. PROPER PROCEDURES SHALL BE FOLLOWED UPON DISCOVERY OF THESE MATERIALS. THE OWNER OR THOSE REPRESENTING THE OWNER IN ANY CAPACITY SHALL NOT BE HELD RESPONSIBLE OR LIABLE FOR ANY INJURY OR COST TO ANY PERSON RESULTING FROM HANDLING OF OR PROXIMITY TO SUCH MATERIALS.

BUILDING DATA

OWNER:

CITY OF SUNDANCE
219 EAST MAIN STREET
P.O. BOX 942
SUNDANCE, WY 82124
CONTACT: KATHY LENZ, CLERK-TREASURER

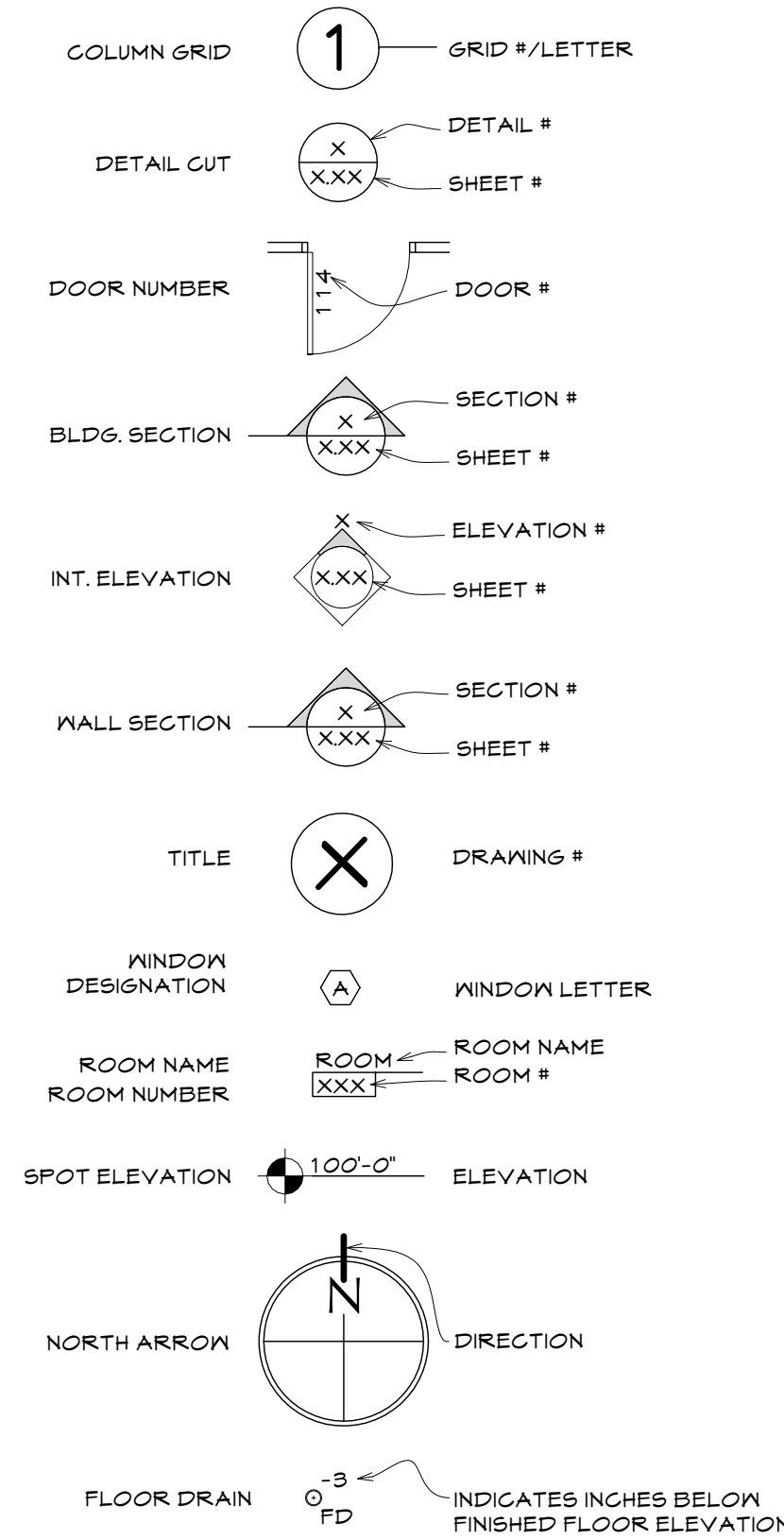
PROJECT ADDRESS:

108 NORTH 4TH STREET
SUNDANCE, WY 82124

SIZE:

SUB-BASEMENT 3,557 G.S.F.
BASEMENT 9,206 G.S.F.
FIRST FLOOR 9,117 G.S.F.
SECOND FLOOR 9,117 G.S.F.
TOTAL BUILDING AREA 10,447 G.S.F.

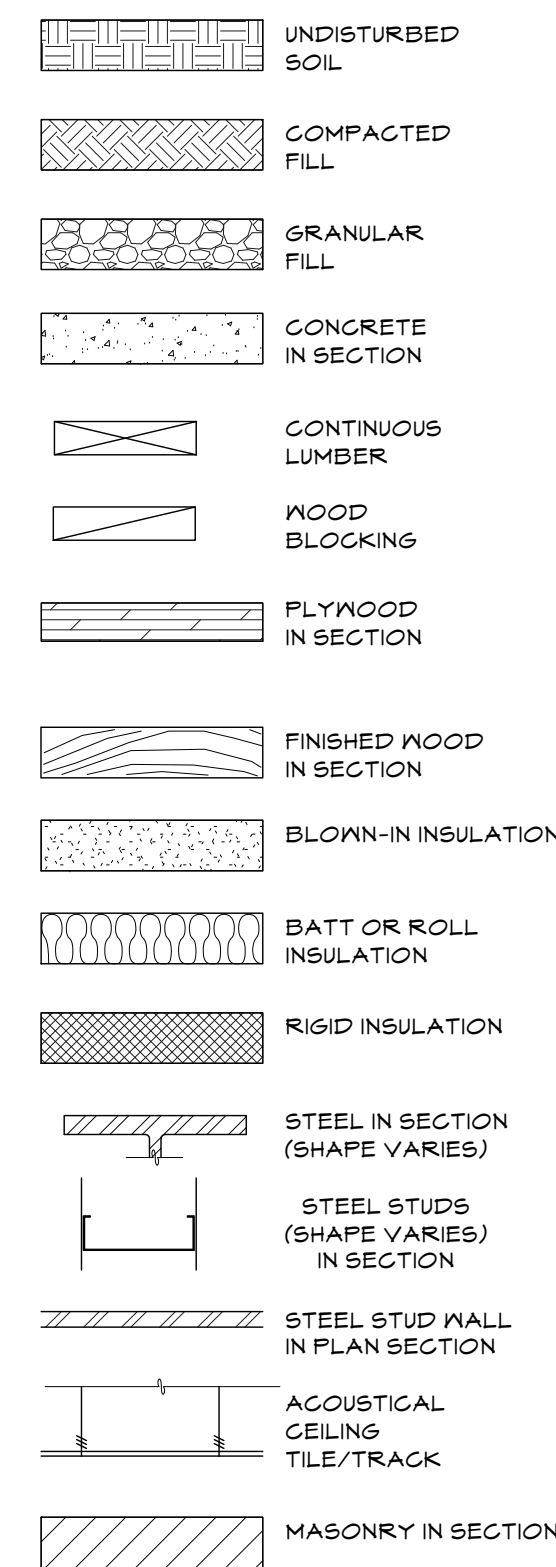
DRAWING SYMBOLS



ABBREVIATIONS

ABBREV.	ABBREVIATION
ADA	-AMERICANS WITH DISABILITIES ACT
A.F.F.	-ABOVE FINISH FLOOR
BD	-BOARD
C.J.	-CONTROL JOINT
CONC.	-CONCRETE
CONT. LINE	-CONTINUOUS CENTER LINE
D	-DOWN
DEMOL	-DEMOLISH
EA	-EACH
EXPS	-EXTRUDED POLYSTYRENE
EP.S.	-EXPANDED POLYSTYRENE
F.E.	-FIRE EXTINGUISHER
F.E.C.	-FIRE EXTINGUISHER CABINET
F.F.L.	-FINISHED FLOOR FINISH
FIN	-FINISH
F.O.B.	-FACE OF GYPSUM BOARD
FRF	-FIBERGLASS REINFORCED PANEL
F.O.M.	-FACE OF MASONRY
F.O.B.	-FACE OF STUD
FT.	-FOOT
G.A.	-GAUGE
GALV.	-GALVANIZED
G.C.	-GENERAL CONTRACTOR
GYPSM BOARD	-GYPSUM BOARD
H.C.	-HANDICAPPED
H.D.N.	-HARDWARE
H.M.	-HOLLOW METAL
HR.	-HOUR
INFO	-INFORMATION
ISO	-ISOGYANURATE ROOF INSULATION (EXTRUDED)
LVL	-LAMINATED VENEER LUMBER
MHO	-MAGNETIC HOLD OPEN
N.I.C.	-NOT IN CONTRACT
N.T.S.	-NOT TO SCALE
O.C.	-ON CENTER
O.F.C.I	-OWNER FURNISHED CONTRACTOR INSTALLED
REV.	-REVERSE
RHM	-ROUGH
R.S.	-ROUGH SAWN
SM	-SIMILAR
SS	-STAINLESS STEEL
ST	-STORAGE
T&G	-TONGUE & GROOVE
T.L.T.	-TOILET
T.O.B.	-TOP OF STEEL
T.O.M.	-TOP OF MASONRY
TYP.	-TYPICAL
UNO.	-UNLESS NOTED OTHERWISE
V.I.F.	-VERIFY IN FIELD
V.T.R.	-VENT THRU ROOF
W	-WITH
W/F	-WELDED WIRE FABRIC

MATERIALS LEGEND



PROJECT TEAM

ARCHITECT:

STATELINE NO. 7 ARCHITECTS
PHONE: (307) 268-9611 FAX: (307) 268-9611
444 SOUTH CENTER STREET
CASPER, WYOMING 82601
CONTACT: LYLE T. MURTHA, AIA, lmurthastateline7.com

CIVIL ENGINEER:

INTERSTATE ENGINEERING
PHONE: (307) 268-9675
319 MAIN STREET
SUNDANCE, WYOMING 82124
CONTACT: GODY GALLOWAY, EIT, godygalloway@interstateeng.com

STRUCTURAL ENGINEER:

MARTIN & MARTIN
PHONE: (307) 268-9400
P.O. BOX 1067
SUNDANCE, WYOMING 82124
CONTACT: AMANDA MILLER, P.E., amiller@mmyo.com

MECHANICAL ENGINEER:

ENGINEERING DESIGN ASSOCIATES
PHONE: (307) 266-9039
1601 CY AVENUE, SUITE 303
CASPER, WYOMING 82604
CONTACT: JAK HOLLINGER, P.E., jak@edaengineering.com

ELECTRICAL ENGINEER:

ENGINEERING DESIGN ASSOCIATES
PHONE: (307) 266-9039
1601 CY AVENUE, SUITE 303
CASPER, WYOMING 82604
CONTACT: MONTE SCHAFER, P.E., mschaff@edaengineering.com

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ARCHITECTURAL:

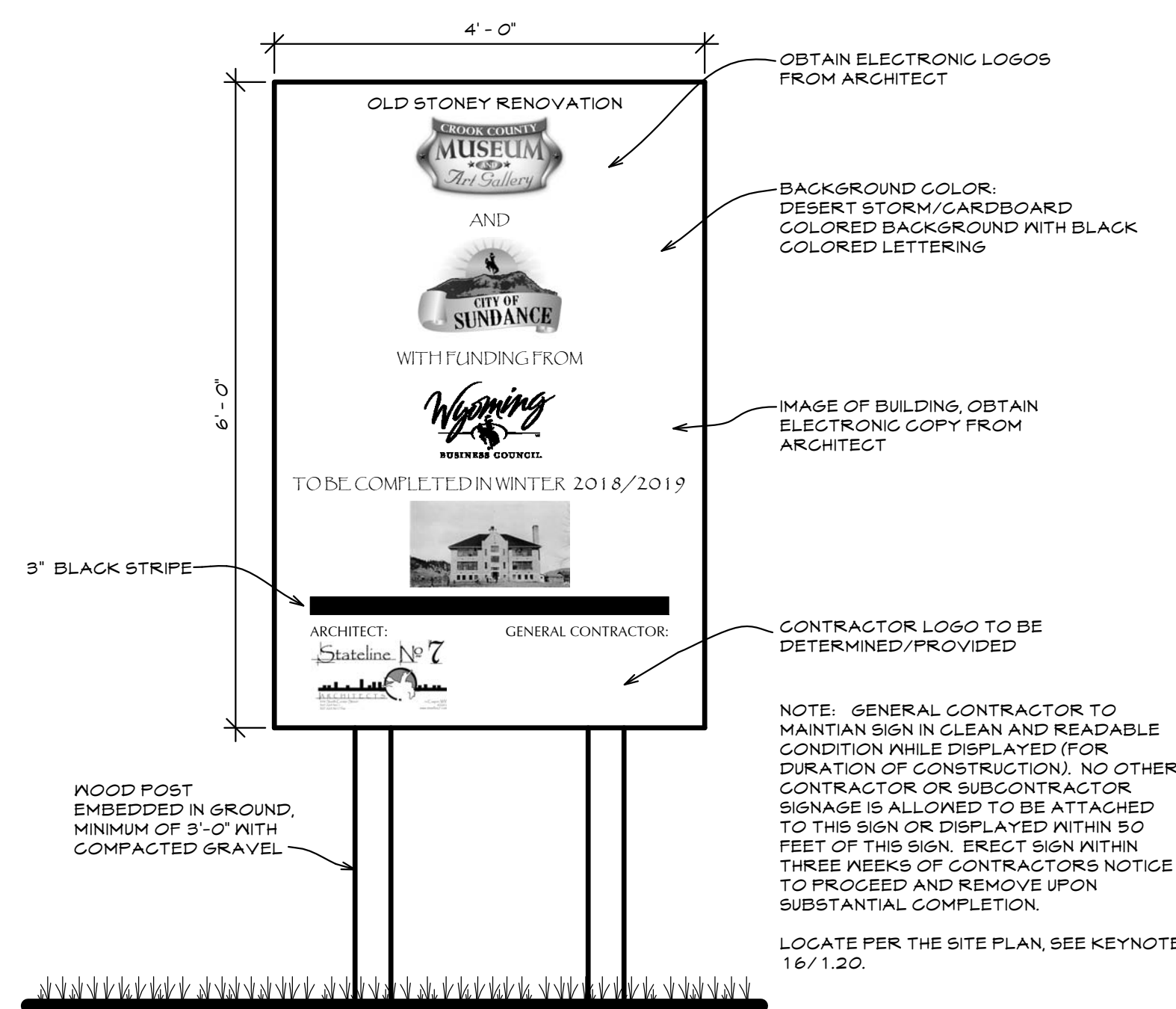
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1 CONSTRUCTION SIGN

SCALE: 3/4" = 1'-0"

OLD STONEY REMODEL
PHASE ONE
108 NORTH 4TH STREET
SUNDANCE, WYOMING 82729



PROJECT NUMBER
16-022

DATE
11-20-2017

DRAWN BY
KFOX
A WILLIAMSON

DISK ID.
16-022 Old
Stoney/16-022_Old
Stoney.rvt

SHEET TITLE
TITLE SHEET AND
GENERAL
INFORMATION

SHEET NUMBER
0.00