

GENERAL NOTES:

- GENERAL NOTES, KEYNOTES, AND LEGEND ON THIS SHEET REFER TO THIS SHEET ONLY.
- SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. SEAL ALL ROOF PENETRATIONS WATER-TIGHT PER ROOFING MANUFACTURER'S RECOMMENDATIONS.
- ALL NEW PAVED AREAS SLOPE FOR POSITIVE DRAINAGE.
- USE FIBER MESH REINFORCEMENT AT ALL EXTERIOR FLATWORK CONCRETE.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO ANY SITEMARK INSTALLATION, EXCAVATION, OR PLANTING OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITIES.
- ALL PLANT MATERIAL SHALL CONFORM TO THE CURRENT AMERICAN ASSOCIATION OF NURSERYMANS NATIONAL STANDARD SPECIFICATIONS. SEE CIVIL DRAWINGS FOR PLANT MATERIAL.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE PREPARED AND SEEDED OR SODDED AS SPECIFIED. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TREENING, DEMOTION, EARTHWORK, MATERIAL STORAGE STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC THAT RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL OTHER CONTRACT DOCUMENTS TO DETERMINE FULL SCOPE OF POTENTIAL SITE DISTURBANCE TO BE RECLAIMED.
- THE INSTALLATION OF LAYNS, PLANT MATERIAL, AND IRRIGATION SYSTEM SHALL BE PERFORMED BY ONE CONTRACTOR.
- CONTRACTOR SHALL FURNISH REQUIRED PLANT MATERIALS, INCLUDING TREES, SHRUBS, GRASSES, AND PERENNIALS OF ALL DESCRIPTIONS, FOR THE PROJECT IN ACCORDANCE WITH THE PLANS AND SPECIFICATION.
- IN THE EVENT OF A DISCREPANCY, NOTIFY THE ARCHITECT IMMEDIATELY.
- NO TREES SHALL BE PLANTED CLOSER THAN 10' TO A FIRE HYDRANT, ADJUST LAYOUT IF NECESSARY.
- NO TREE OR SHRUB SHALL BE PLANTED OVER OR WITHIN 5' LATERALLY FROM ANY UNDERGROUND UTILITIES.
- NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
- CONTRACTOR SHALL PROVIDE PLANTS FREE FROM INSECTS AND DISEASES. SUN-SCALD INJURIES, ABRASIONS OF THE BARK, OR OTHER OBJECTIONABLE BLEMISHES, WEAR AND/OR DISFIGURED PLANTS WILL NOT BE ACCEPTED.
- CONTRACTOR SHALL PROVIDE FIELD GROWN NURSERY TREES DUG WITH A BALL OF EARTH STILL INTACT IN WHICH THEY ARE GROWING, WRAPPED IN BURLAP OR OTHER SUITABLE MATERIAL TO COMPLETELY COVER THE ROOT BALL WITH A LACING OR OTHER BALL SUPPORTING DEVICE ON THE OUTSIDE TO HOLD THE BALL IN A FIRM, RIGID CONDITION.
- CONTAINER GROWN PLANTS SHALL BE HEALTHY, VIGOROUS, AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE GROWN. THEY SHALL HAVE TIGHT, WELL-ESTABLISHED ROOT SYSTEM REACHING THE SIDES OF THE CONTAINER TO MAINTAIN A FIRM ROOT BALL.
- CONTRACTOR SHALL PROVIDE PLANT MATERIAL IN CONFORMANCE WITH STATE AND FEDERAL LAWS WITH RESPECT TO INSPECTION FOR PLANT DISEASE AND INFECTIONS.
- CONTRACTOR SHALL PROVIDE INSPECTION CERTIFICATES REQUIRED BY LAW WITH EACH SHIPMENT, INVOICE, OR ORDER OF STOCK TO THE OWNER.
- PLANT MATERIALS FOR THIS PROJECT ARE SUBJECT TO INSPECTION BEFORE, DURING, AND POST PLANTING. DAMAGED PLANT MATERIAL, CONTAINERS, OR LOOSE, TORN, AND BROKEN ROOT BALLS WILL NOT BE APPROVED AND WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE AND MUST BE REMOVED FROM THE STORAGE AREA OF PROJECT.
- MAINTENANCE SERVICES TO BE PERFORMED BY THE CONTRACTOR. THE CONTRACTOR WILL BE EXPECTED TO FURNISH SERVICE AND MAINTENANCE OF ALL PAVED AREAS THROUGH FINAL COMPLETION OF PROJECT OR AS REQUIRED PER THE REQUIREMENTS OF THE PROJECT WARRANTY PERIOD.
- ALL PLANT MATERIALS SHALL BE CERTIFIED BY THE STATE DEPARTMENT OF AGRICULTURE TO ASSURE THEM TO BE FREE OF DISEASE OR HAZARDOUS INSECTS.
- ALL FERTILIZER SHALL BE DELIVERED IN WATERPROOF BAGS SHOWING WEIGHT, CHEMICAL ANALYSIS, AND THE NAME OF THE MANUFACTURER.
- ALL PLANT MATERIAL SHALL BE DELIVERED TO THE SITE IN THEIR ORIGINAL CONTAINERS WITH ALL LABELS INTACT AND LEGIBLE.
- CONTRACTOR WILL BE RESPONSIBLE TO PROTECT AND MAINTAIN PLANT LIFE DURING THE STORAGE PERIOD PRIOR TO PLANTING.
- INSTALLATION OF PLANT LIFE WILL NOT BE PERMITTED WHEN THE AMBIENT TEMPERATURES MAY DROP BELOW 35° F OR RISE ABOVE 90° F.
- CONTRACTOR TO PROVIDE A ONE YEAR WARRANTY. WARRANTY TO INCLUDE COVERAGE FOR ONE ENTIRE GROWING SEASON FOR ALL DEAD OR UNHEALTHY PLANTINGS. ALL REPLACEMENT PLANTS SHALL BE REQUIRED TO BE OF THE SAME SIZE AND SPECIES AS SPECIFIED IN THE PLANT SCHEDULE, PLANTED IN THE FOLLOWING GROWING SEASON, WITH A NEW WARRANTY COMMENCING ON THE DATE OF PLACEMENT.
- SOIL AMENDMENT MATERIALS: COMPOST SHALL BE "SLACER GOLD", "SOIL FREE" OR AN APPROVED EQUAL. FERTILIZER SHALL BE 100% ORGANIC, TRANSPLENT ROOT STIMULATOR "BIOPLEX TRANSPLENT CONCENTRATE" OR APPROVED EQUAL.
- NEED BARRIER FABRIC SHALL BE WOVEN POLYPROPYLENE FABRIC, 4.75 OZ SQ. YD. OR HEAVIER WITH METAL LANDSCAPE PINS. DO NOT INSTALL NEED BARRIER UNDER PERENNIALS AND GRASSES.
- CONTRACTOR SHALL USE 1 1/2" DIA. ROUND POSTS WITH TAPERED END, 8' - 0" IN LENGTH OR DUCKBILL ANCHORS FOR TREE ANCHORING.
- CONTRACTOR SHALL USE 5 ANCHORS FOR DECIDUOUS TREES WITH KEBBING OR RUBBER TREE TIES MANUFACTURED SPECIFICALLY FOR USE ON TREES.
- CONTRACTOR WILL BE RESPONSIBLE TO REMOVE ALL ANCHORING AT THE END OF ONE CONTINUOUS GROWING SEASON.
- CONTRACTOR SHALL COORDINATE A COMPLETE IRRIGATION SYSTEM LAYOUT FOR ALL LAMN AREAS AND PLANTING AREAS (INCLUDING EXISTING PLANTINGS).
- AREAS THAT ARE TOO SMALL TO BE DRILL SEEDED SHALL BE BROADCAST, RAKED IN, AND ROLLED.

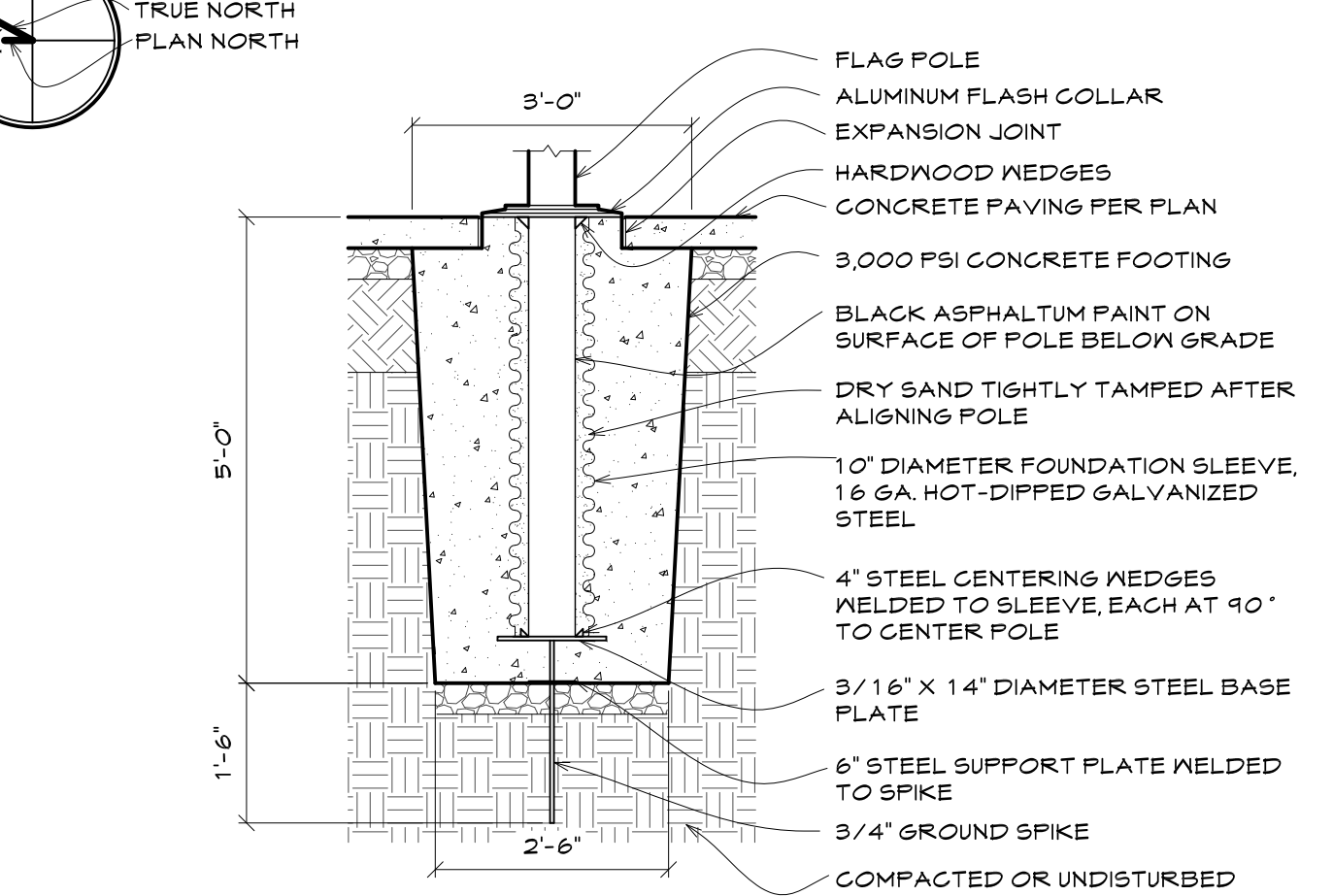
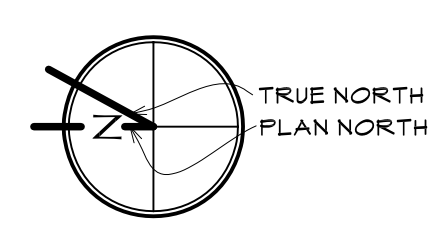
LEGEND:

- EXISTING CONSTRUCTION/ITEMS TO REMAIN
- IRRIGATED LAMN AREA, SEE THE SPECIFICATIONS
- CONCRETE, SEE KEYNOTES AND STRUCTURAL DRAWINGS
- ASPHALT SHINGLES, SEE THE BUILDING ELEVATIONS
- STEEL BAR GRATING, SEE THE REFERENCE PLANS

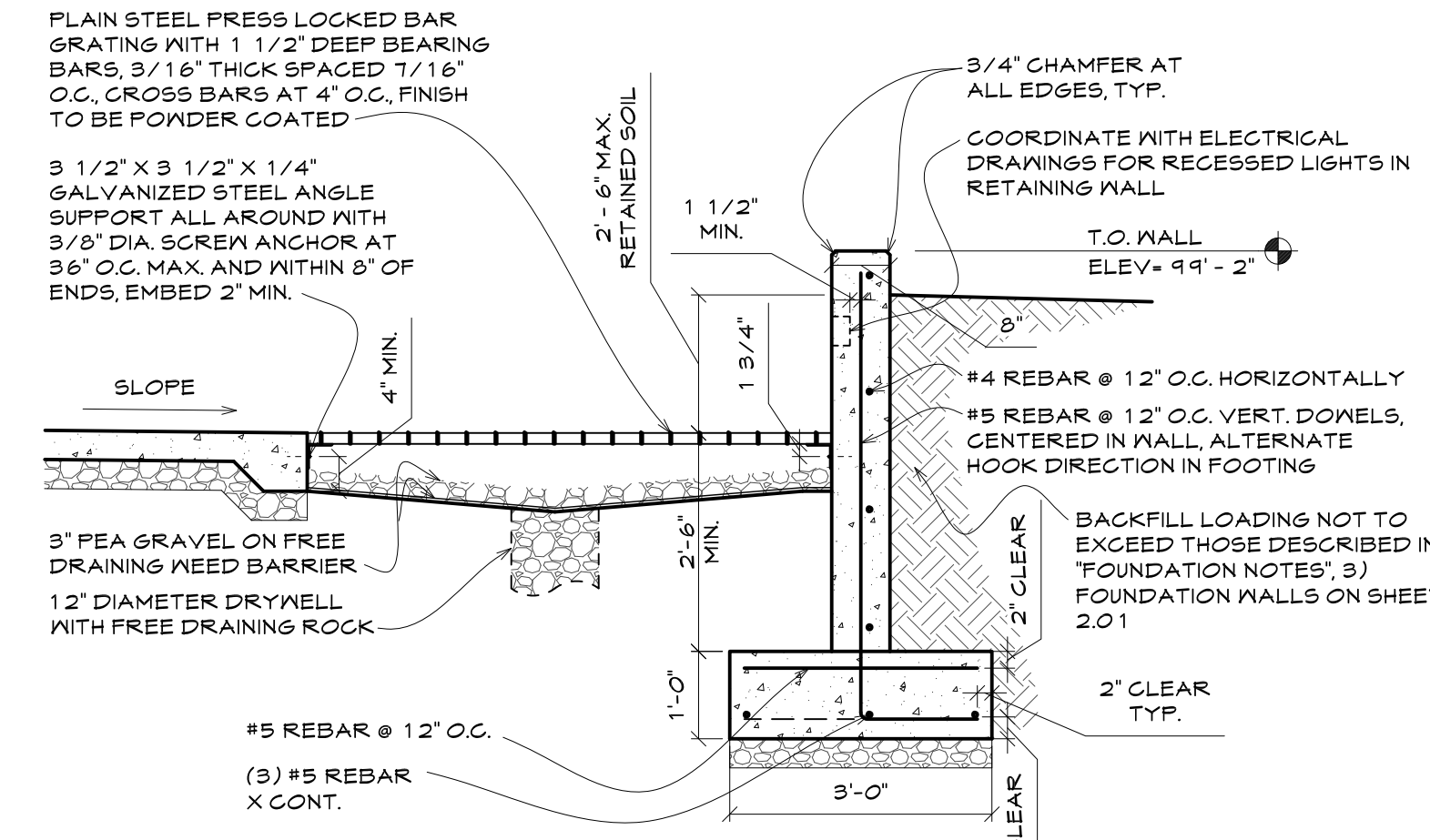
KEYNOTES:

- NOT USED.
- VENT THROUGH ROOF, SEE THE MECHANICAL DRAWINGS. SEAL ALL ROOF PENETRATIONS WATER-TIGHT.
- NOT USED.
- NOT USED.
- PROVIDE DOWNSPOUTS AS SHOWN ON BUILDING ELEVATIONS - PIPE DOWN TO GRADE AND COLLECT ALL WATER BENEATH GRADE. SEE THE CIVIL DRAWINGS. SMALE CONCRETE APRON AT DOWNSPOUTS TO COLLECT ALL WATER.
- RAIN GARDEN - PIPE ALL DOWNSPOUT LINES TO THIS LOCATION. SEE THE CIVIL DRAWINGS FOR GRADING, GROUND COVER, AND PLANTINGS.
- 4" CONCRETE APRON ON 4" COMPACTED GRAVEL, SLOPE FOR POSITIVE DRAINAGE.
- NOT USED.
- NOT USED.
- CENTERLINE OF ARC IS CENTERED ON ENTRY STAIR, AND EXTENDS INTO 4TH STREET.
- PROVIDE 3" FLAG POLE AND ASSOCIATED FLAG, GORPAGE, ETC. CENTER ON NEW WALKWAY AND LOCATE EAST OF EXISTING PROPERTY LINE. SEE DETAIL 1/1.20.
- NOT USED.
- REPLACE ROOFING ON EXISTING SHED. SEE THE SITE DEMO PLAN AND THE BUILDING ELEVATIONS.
- REPLACE DEMO SIDEWALK WITH 4" CONCRETE ON 4" COMPACTED GRAVEL, FLUSH WITH EXISTING ADJACENT PAVING, TYP.
- ROUTE NEW PAVEMENT AROUND EXISTING TREE AND ROOT SYSTEM AS INDICATED, FIELD VERIFY.
- LOCATE CONSTRUCTION SIGN, SEE 1/0.00.
- REPLACE ASPHALT AND CURB AT STREET FOR WATER LINE REPLACEMENT, SEE THE CIVIL DRAWINGS.
- REPLACE ADJACENT LIBRARY'S TREES WITH SIMILAR SIZE AND TYPE AS NEEDED FOR SHORING AND EXCAVATION.
- REPLACE ADJACENT PROPERTY OWNER'S LAMN IRRIGATION SYSTEM AND SOD AS NEEDED FOR SHORING AND EXCAVATION, VERIFY EXISTENT.
- GRADED LANDING, SEE 2/1.20.
- DRYWELL: CONSTRUCT OF 12" DIAMETER HOLE, 20" BELOW SUB BASEMENT FINISH FLOOR, FILL WITH FREE DRAINING ROCK AND COVER WITH FILTER FABRIC.
- A.D.A. ACCESSIBILITY SIGN, SEE 3/1.20.
- APPROXIMATE LOCATION OF LAMN IRRIGATION SUB-OUT, SEE THE MECHANICAL DRAWINGS FOR EXACT LOCATION.
- NEW CONCRETE RETAINING WALL, SEE 2/1.20 FOR SIMILAR CONSTRUCTION.

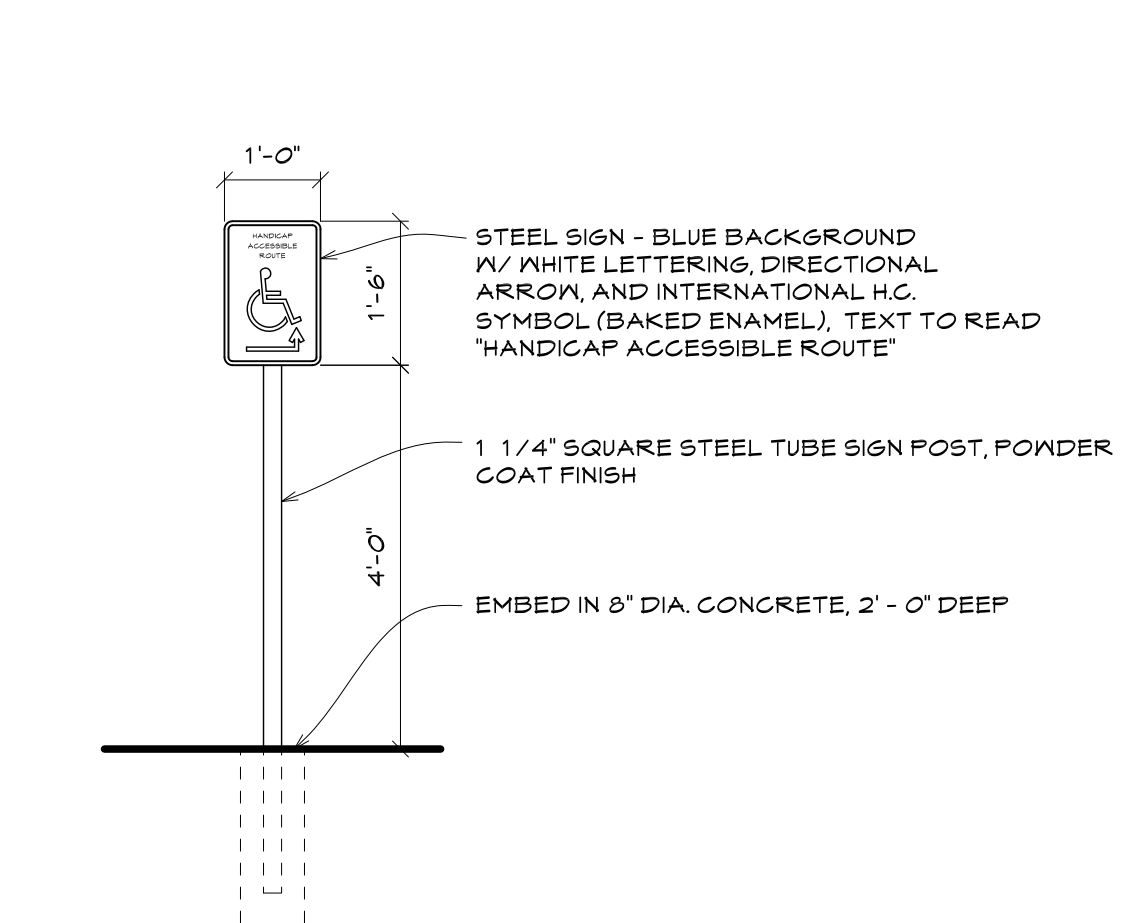
SITE PLAN
SCALE 1/8" = 1'-0"



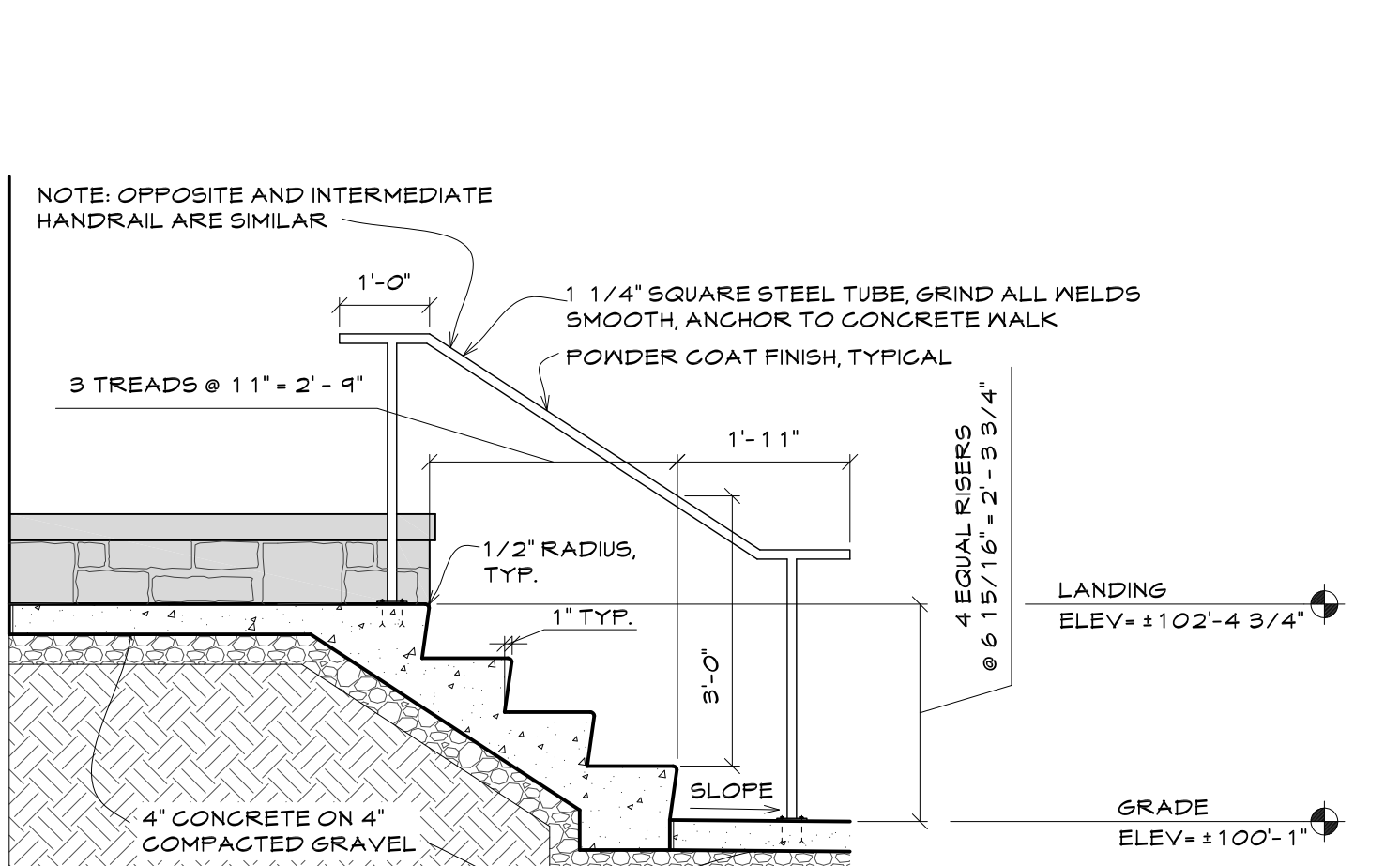
1 FLAG POLE BASE
SCALE 1/2" = 1'-0"



2 GRATED LANDING
SCALE 1/2" = 1'-0"

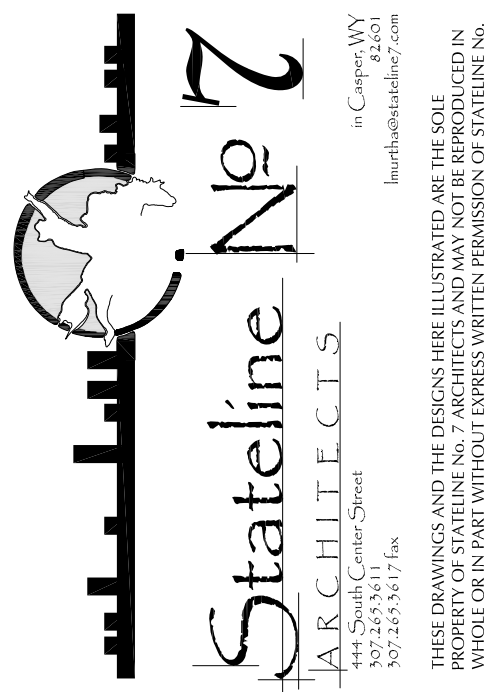


3 A.D.A. SIGN
SCALE 1/2" = 1'-0"



4 STAIR
SCALE 1/2" = 1'-0"

OLD STONEY REMODEL
PHASE ONE
108 NORTH 4TH STREET
SUNDANCE WV, 82729



PROJECT NUMBER
16-022

DATE
11-20-2017

DRAWN BY
K FOX

DISK ID.
16-022_X_
ARCHITECTURAL
SITE PLAN.DWG

SHEET TITLE
ARCHITECTURAL
SITE PLAN AND
DETAILS

SHEET NUMBER

1.20